

# LOWER OXFORD TOWNSHIP

220 Township Road • Oxford • PA • 19363  
Phone: 610-932-8150 ext. 1  
E-Mail: loweroxfordtp@zoominternet.net

## BUILDING PERMIT & APPLICATION DECK

C of O Issued: \_\_\_\_/\_\_\_\_/\_\_\_\_

TPI #	<b>56-</b> _____ - _____	Date of Application: ____/____/____	Permit #:	<b>LOT-</b> _____ - _____ <b>-R</b>
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### Property Owner Information

Name:	_____	Phone:	_____
Property Address:	_____	E-Mail:	_____

### Contractor Information

Company Name:	_____	Phone:	_____
Address:	_____	E-Mail:	_____

S/D Name:	_____	Lot No.:	_____	Lot Size:	_____ Acre(s)	Non-Conforming Lot?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Type:	Construct Deck	Use:	Residential	Zoning District:	R-1, R-2, R-3, R-4 C-1, C-2, C-3, I-1	Zoning Variance Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
DIMENSIONS	Width:	Length:	Existing Imp. To be Utilized:	Total	SWM Waiver Required? ( $\leq 1,000$ sq. ft.) <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A		
			ft <sup>2</sup>	ft <sup>2</sup>	Utilize Existing Impervious? <input type="checkbox"/> Yes <input type="checkbox"/> No _____ sq. ft.		
					SWM Plan Required? ( $\geq 1,000+$ sq. ft.) <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A ( $\geq 2,000+$ sq. ft.) <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A		

I hereby certify that the work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and we agree to conform to all applicable laws of this jurisdiction. We also understand that all information contained in this building permit application is agreed to be essential, and any erroneous information contained herein shall render the Permit invalid ab initio, without regard to whether construction has commenced.

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Contractor (if applicant) \_\_\_\_\_ Date: \_\_\_\_\_

**Remarks:** Please contact Building Inspector at least 24 hours prior to each inspection (Refer to plan review sheet). The Building Inspector has 15 business days (excludes weekends & holidays) to complete review and 5 days to complete review if the plans are stamped by an engineer.

Signature of Approval of Zoning Officer: \_\_\_\_\_ Date: \_\_\_\_\_  
Scott Moran, BCO (PA UCC #4426) (Phone: 610-637-1003)

Method of Payment:  Check  Money Order  Cash  Credit Card (Visa or Mastercard)

Estimated Cost of Project: \$	Lower Oxford Township Permit Fee \$ _____	Chk No. _____
	Accurate Building Inspections Fee \$ _____	Chk No. _____

If you have questions, or unsure about the interpretation of this requirement, please contact the Zoning Officer at 610-932-8150 (Ext. 1)  
Applicant, please note the following:

- Accessory Building may only be erected on the side and rear yard of property.
- Applicant must maintain 10 feet from the property line (side and rear of property) and 20 feet between permanent buildings.
- If property is located at an intersection, the property has two fronts. Check with Zoning Officer for proper setbacks.
- Permit becomes invalid if work is not commenced within 180 days of issuance.
- Permit becomes invalid if work is suspended or abandoned for more than 180 days after work begins.
- Buildings may not be placed or built in the right-of-way, easements, replacement septic areas, or delineated wetland areas.
- Permit holder may request an extension to begin construction. Approval must be in writing by the Code Enforcement Officer.
- If licensed contractor is performing the construction, a certificate of liability must be provided prior to permit being issued.
- Refer to building inspector's Plan Review for required inspections.

# PLOT PLAN

Outline the shape of the building lot and show dimensions. Locate NORTH point. Outline accessory building to be constructed and designate any other building(s) on the same plot and show dimensions of those buildings. Show set-back of front yard, rear yard, and side yards. Locate water and sanitary services, and replacement area septic (if applicable). Check with Zoning Officer for appropriate setbacks.

**Square Footage of Impervious Surface:**

House: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

Garage: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

Driveway: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

Outbuilding(s): \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

\_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

\_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

Pool: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

Other: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

\_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

\_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_

**Approx. Sq. Ft. Totals: = \_\_\_\_\_**

**STORMWATER MANAGEMENT REQUIREMENTS**  
**Impervious Coverage per Lower Oxford Township's Ordinance Chapter 20**  
**\*\*\*All Impervious Coverage is Cumulative\*\*\***

**Residential & Commercial**  
 <1,000 sq. ft. = Waiver \$25  
 ≥1,000 sq. ft. to <2,000 sq. ft. = Small Project/Simplified SWM  
 Admin/Permit Fee = \$150  
 Initial Escrow Fee = \$500 (Professional Review & Inspections Required)  
 ≥2,000 sq. ft. Engineered SWM  
 Admin/Permit Fee = \$300  
 Initial Escrow = \$500 (Professional Review & Inspections Required)  
**\*Note: Building and/or Zoning Permit & Fees will be required per project type.**

**Agricultural "Ag Use Building" (If Residence – Use Residential)**  
 <1,000 sq. ft. = Waiver \$25  
 ≥1,000 sq. ft. to <10,000 sq. ft. = Small Project/Simplified SWM  
**\*Note: Building &/or Zoning Permit & Fees will be required per project type.**

**Township Use Only:** The following calculations are approximations only. Totals include driveway, accessory buildings, swimming pools, etc.:

THIS PERMIT CONVEYS NO RIGHT TO OCCUPY ANY STREET, ALLEY OR SIDEWALK OR ANY PART THEREOF, EITHER TEMPORARILY OR PERMANENTLY, ENCROACHMENTS ON PUBLIC PROPERTY NOT SPECIFICALLY PERMITTED UNDER THE BUILDING CODE, MUST BE APPROVED BY THE JURISDICTION, STREET OR ALLEY GRADES AS WELL AS DEPTH AND LOCATION OF PUBLIC SEWERS MAY BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. THE ISSUANCE OF THIS PERMIT DOES NOT RELEASE THE APPLICANT FROM THE CONDITIONS OF ANY APPLICABLE SUBDIVISION RESTRICTIONS.

<p><b>MINIMUM OF THREE CALLED INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK:</b></p> <ol style="list-style-type: none"> <li>1) FOUNDATIONS OR FOOTINGS.</li> <li>2) PRIOR TO COVERING STRUCTURAL MEMBERS (READY FOR LATH OR FINISH COVERING).</li> <li>3) FINAL INSPECTION BEFORE OCCUPANCY.</li> </ol>	<p><b>APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.</b></p>
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**POST THIS CARD SO IT IS VISIBLE FROM STREET**

BUILDING INSPECTION APPROVALS	ELECTRICAL INSPECTIONS	HEATING/PLUMBING INSPECTIONS
<b>OTHER:</b>		DATE CERTIFICATE OF OCCUPANCY ISSUED: _____  ISSUED BY: _____

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION.

PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED:

INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED FOR BY TELEPHONE OR WRITTEN NOTIFICATION.

# Lower Oxford Township

## Permit Application for Deck

**Application**

**Plot Plan of Property**

- Provide setbacks from property lines. Building must be erected in the side or rear of property and at least ten feet (10') from side and rear property lines.
- Provide distances from well and septic (if applicable).
- Provide location of replacement area septic area (if applicable).

**Stormwater Management – Act 167** - Pennsylvania’s Storm Water Management Act (Act 167) was enacted in 1978. This Act was in response to the impacts of accelerated stormwater runoff resulting from land development in the state. It requires counties to prepare and adopt watershed-based stormwater management plans. It also requires municipalities to adopt and implement ordinances to regulate development consistent with these plans.

As of January 1, 2014, the State requires any construction that results in impervious surface to be monitored. Residential construction that exceeds 1,000 sq. ft. in impervious surface will need a stormwater management plan that must be approved by an engineer. This should accompany any plans submitted by the owner or contractor.

**Collection of Fees:**

**Checks to be made out to “Lower Oxford Township”**

- Permit Fee .....\$100.00
- UCC Fee ..... \$4.50
- Inspection (Regular) .....\$65.00
- Inspection (Electrical) ..... \$100.00
- Certificate of Occupancy .....\$50.00
- SWM Exemption Fee (if under 1,000 sq. ft.) ..... \$25.00
- Small Project SWM Permit Fee (1,000+ sq. ft.) ..... \$150.00
- SWM Plan Review Fee .....\$100.00
- SWM Inspection No. 1 – Pit w/Fabric & Stone.....\$100.00
- SWM Inspection No. 2 – Pipe In Place .....\$100.00
- SWM Inspection No. 3 – Stone & Cover.....\$100.00
- SWM Inspection No. 4 – Rain Leaders .....\$100.00
- Initial Escrow Fee.....\$500.00
- SWM Permit Fee (Residential 2,000 sq. ft./Agricultural 10,000 sq. ft.).....\$300.00
- Initial Escrow .....\$500.00

Professional reviews will be charged at actual cost and shall be added to as necessary to maintain an escrow at 25% of original amount; any excess shall be refunded to the applicant.

**NOTE: Additional Fees for permits issued after the Zoning Officer’s issuance of a violation notice for commencement of work without a required permit will be \$50.00 or 50%, whichever is greater. In no event, however, shall the additional fee for any one permit exceed \$150.00. (Resolution 12-1998).**

- Permit becomes invalid if work is not commenced within 180 days of issuance or, if work is suspended or abandoned for more than 180 days after work begins.**
- Permit holder may request an extension to begin construction...approval must be in writing.**

# REQUIREMENTS FOR DECK SPACING WITH 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD

## Joist Span (maximum distance between ledger & beam or between beams)

Joist size	Joist Spacing 16" O.C.	Joist Spacing 24" O. C.
2 x 8's	12'-10"	10'11"
2 x 10's	16'-1"	13'-1"
2 x 12's	18'-10"	15'-4"

## ALLOWED BEAM SPAN BETWEEN POST

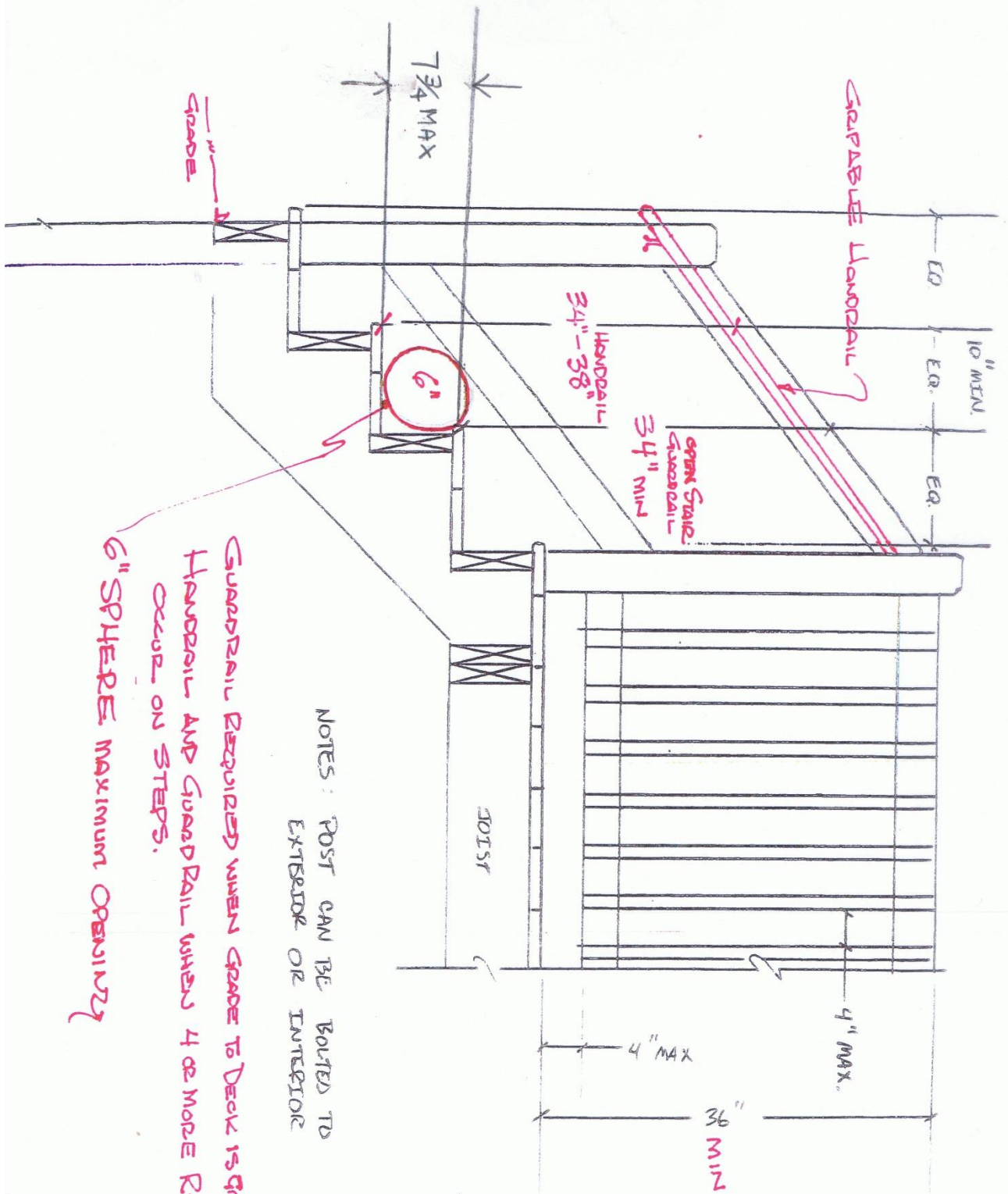
Joist Span is (ledger board to beam or between beams)

Beam Size	4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'	15'	16'
Double 2 x 8's	14-10	13-10	11-9	11-0	10-3	9-6	9-0	8-9	8-4	8-0	7-9	7-6	7-3
Double 2 x 10's	X	X	14-0	13-0	12-3	11-6	10-11	10-5	10-0	9-7	9-3	8-11	8-8
Double 2 x 12's	X	X	16-6	15-4	14-3	13-6	12-10	12-3	11-10	11-4	10-10	10-5	10-1

### INTERNATIONAL RESIDENTIAL CODE 2009 REQUIREMENTS

Description	Tables
Footing depth is 36" minimum x 12" minimum diameter	R301.2(1) & R403.1
Treated post to rest on 6" minimum thick concrete base	R403.1 .1
Treated post alternate to rest on 8" minimum treated plate over 6" crush stone.	Figure R403. 1(2)
Treated post minimum size is 4" x 4" minimum (consider 6" x 6" when over 48" high)	R407.3
Beams & joist (use table's above for treated material only)	R502
Cantilever maximum overhang see Table R502.3.3(2) (May require Professional Design Engr.)	R502.3.3
Bolting ledger board to house	R502.2.1
Flashing at ledger board to wall sheathing	R703.8 (Item #5)
Deck surface to top of exterior door threshold is 7 3/4" maximum	R311.3.2
Landing - 36" in direction of travel required at doors if more than 2 treads to deck surface.	R311.3
Stair width must be not less than 36"	R311.7.1
Stair riser no greater than 7 3/4" and tread less than 10"	R311.7.4.1 & 2
Stair risers to be closed with no greater than 4" opening	R311.7.4.3
Handrail required on one side of steps when more than 4 or more risers	R311.7.7
Handrail height shall not be less than 34" & not more than 38"	R311.7.7.1
Handrail grip size to be 1 1/4" minimum and 2" maximum in width and if greater than 6 1/4" perimeter, provide graspable finger recess along it's length.	R311.7.7.3
Guardrails required if deck surface is greater than 30" above grade	R312.1
Guardrails shall not be less than 36" above deck surface	R312.1
Guardrail opening limitation is less than 4" maximum	R312.2
Guardrail opening at stairs shall not allow a sphere 4 3/8" to pass through.	R312.3 (Exception 1)
Guardrail openings at step triangle is less than 6" sphere maximum	R312.3 (Exception 2)
Guardrails required on open sides of stairs when rise is more than 30" above floor or grade.	R312.1
Guardrails at stairs shall not be less than 34" measured vertically from nosings.	R312.2 (Exception 1)

**Note: Handrails and guardrails are not the same and serve separate functions.**

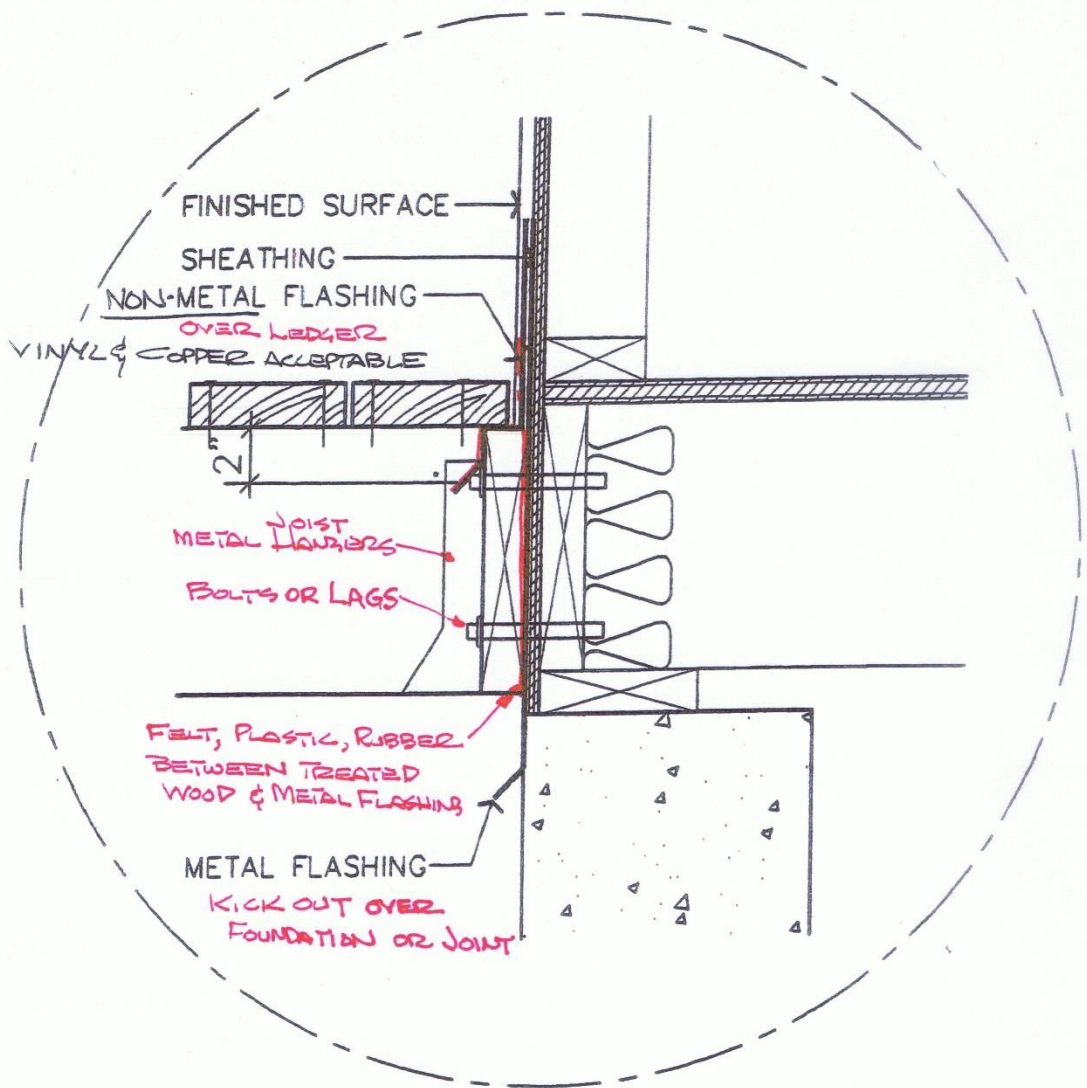


GUARDRAIL REQUIRED WHEN GRADE TO DECK IS GREATER THAN 30"  
 HANDRAIL AND GUARDRAIL WHEN 4 OR MORE RISERS  
 OCCUR ON STEPS.  
 6" SPHERE MAXIMUM OPENING

NOTES: POST CAN BE BOLTED TO  
 EXTERIOR OR INTERIOR

JOIST

4" MAX  
 36" MIN  
 4" MAX



## FLASHING DETAIL

SCALE" 1/2" = 1'-0"

\* All hangers, flashing, hardware & connectors to be suitable for use w/ ACQ lumber.

6" x 6" POST w/ NOTCHED BEAM

2-3/8" x 7" CARRIAGE  
BOLTS w/ WASHERS  
MINIMUM

